

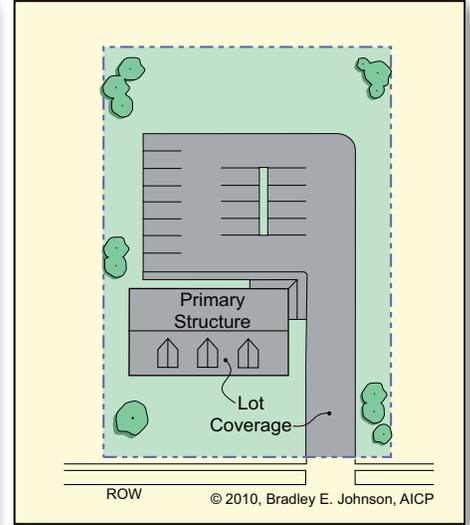
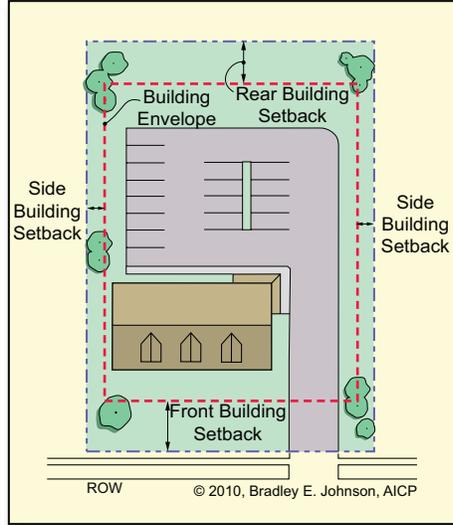
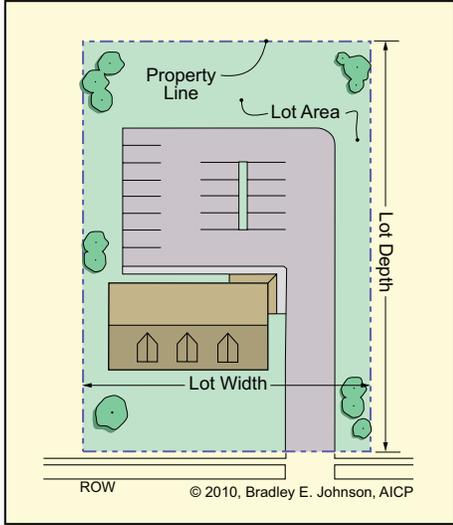
University (UV) District

2.21 UV District Intent, Permitted Uses, and Special Exception Uses

District Intent	Permitted Uses	Special Exception Uses
<p>The UV (University) District is intended to be used as follows:</p> <p>Use Type and Intensity</p> <ul style="list-style-type: none"> • Varying intensities of institutional, commercial, retail, entertainment, and dining uses directly related to university operations and campus life <p>Application of UV District</p> <ul style="list-style-type: none"> • Existing and new development • Only on private or public college or university property • Promote the mixture and flexibility of uses that make universities and colleges unique and functional while protecting the character of adjacent districts • Enact stringent form standards due to the flexibility permitted in the UV District <p>Appropriate Adjacent Zoning Districts</p> <ul style="list-style-type: none"> • PR, AG, R2, R3, UR, M1, M2, UV, IS, NC, LC, CB, and EP <p>Plan Commission</p> <ul style="list-style-type: none"> • Use the UV District for existing developments and carefully for new development <p>Board of Zoning Appeals</p> <ul style="list-style-type: none"> • Allow a special exception use only when it is compatible with the surrounding areas 	<p>Accessory Permitted Uses</p> <ul style="list-style-type: none"> • small wind turbine system <p>Commercial Permitted Uses</p> <ul style="list-style-type: none"> • bank machine/atm • barber/beauty shop • billiard/arcade room • bowling alley • broadcast studio • coffee shop • coin laundry • dance/night club • delicatessen • fitness center/health club • hotel/motel • office, general services • office, medical services • restaurant • retail (type 1), very low intensity • retail (type 2), low intensity • sports complex (indoor) • sports complex (outdoor) <p>Institutional Permitted Uses</p> <ul style="list-style-type: none"> • bus station • church, temple, or mosque • community center • library • medical center • museum • park • parking lot, public • police, fire, or rescue station • pool, public • post office • stadium • university or college <p>Residential Permitted Uses</p> <ul style="list-style-type: none"> • dwelling, multiple-family (2 or 3 units) • dwelling, multiple-family (4 to 6 units) • dwelling, multiple-family (7 to 15 units) • residence hall 	<p>Accessory Special Exception Uses</p> <ul style="list-style-type: none"> • large wind turbine system <p>Commercial Special Exception Uses</p> <ul style="list-style-type: none"> • bar/tavern • restaurant with drive-up window

University (UV) District

2.22 UV District Development Standards



Minimum Lot Area

- 5,000 square feet

Minimum Lot Width

- 50 feet

Sewer and Water

- Sanitary sewer and water utility required

Minimum Front Yard Setback

- 20 feet for primary and accessory structures

Minimum Side Yard Setback

- 10 feet for primary and accessory structures

Minimum Rear Yard Setback

- 20 feet for primary and accessory structures

Maximum Lot Coverage

- 70% of lot area

Minimum Main Floor Area

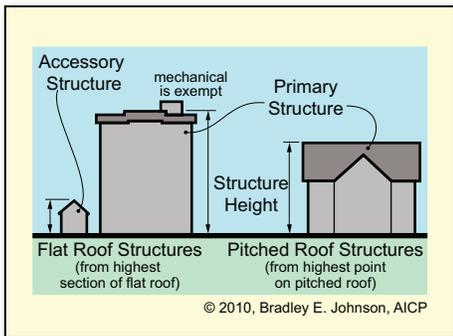
- 1,000 square feet

Minimum Dwelling Unit Size

- 700 square feet per housing unit
- 150 square feet per dormitory room

Maximum Primary Structures

- 10 per lot



Maximum Structure Height

- 60 feet for primary structure
- 30 feet for accessory structure

Additional Development Standards that Apply

Accessory Structures	Lighting	Trash Receptacle
• AS-01 5-6	• LT-01 5-51	• TR-01 5-112
• AS-06 5-11	Lot	Vision Clearance
Density and Intensity	• LO-01 5-53	• VC-01 5-113
• DI-01 5-16	Parking	Wind Turbine Systems
Driveway	• PK-01 5-60	• WT-01 5-114
• DW-01 5-17	• PK-07 5-62	• WT-02 5-116
• DW-04 5-20	Performance	
Environmental	• PF-01 5-68	
• EN-01 5-21	Public Improvement	
Fence and Wall	• PI-01 5-69	
• FW-01 5-22	Setback	
• FW-07 5-24	• SB-01 5-71	
Floodplain	Sewer and Water	
• FP-01 5-26	• SW-01 5-73	
Floor Area	Signs	
• FA-01 5-35	• SI-01 5-75	
Height	• SI-05 5-83	
• HT-01 5-36	Special Exception	
Landscaping	• SE-01 5-105	
• LA-01 5-45	Storage	
• LA-02 5-46	• SR-03 5-106	
• LA-04 5-47	Structure	
• LA-06 5-48	• ST-01 5-107	
• LA-07 5-48	Temporary Use	
• LA-08 5-49	• TU-01 5-110	