

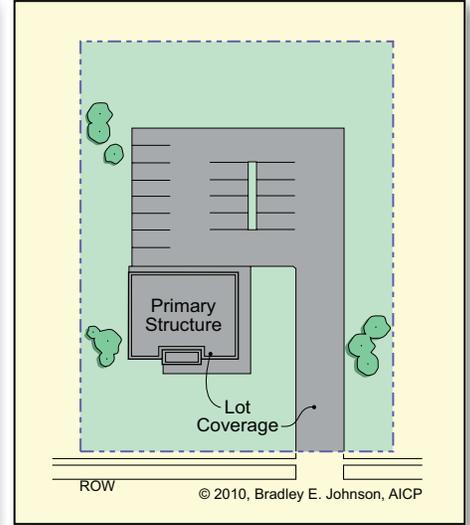
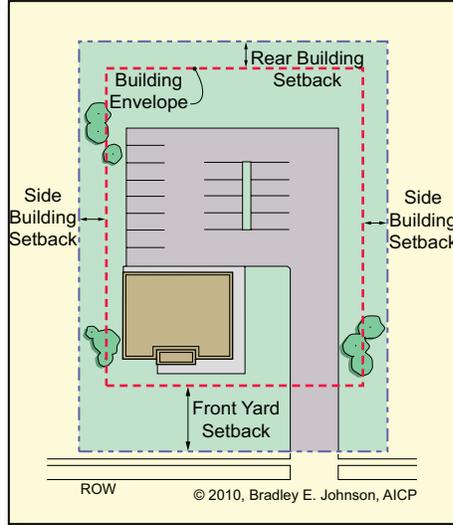
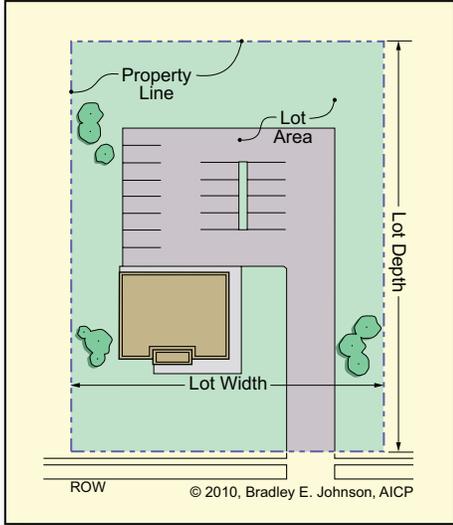
Limited Commercial (LC) District

2.27 LC District Intent, Permitted Uses, and Special Exception Uses

District Intent	Permitted Uses	Special Exception Uses
<p>The LC (Limited Commercial) District is intended to be used as follows:</p> <p>Use Type and Intensity</p> <ul style="list-style-type: none"> • Low intensity commercial uses <p>Application of LC District</p> <ul style="list-style-type: none"> • Existing and new development • Buffer district or transitional zoning district • Small area zoning <p>Development Standards</p> <ul style="list-style-type: none"> • Require development standards to minimize impacts on adjacent residential properties while encouraging economic vitality • Strive for most parking to be on side and rear of primary structure • Minimize light, noise, water, and air pollution <p>Appropriate Adjacent Zoning Districts</p> <ul style="list-style-type: none"> • PR, AG, R3, UR, M1, M2, MP, UV, IS, NC, LC, GC, OC, HC, and EP <p>Plan Commission</p> <ul style="list-style-type: none"> • Use the LC District for existing developments and carefully for new commercial development <p>Board of Zoning Appeals</p> <ul style="list-style-type: none"> • Allow a special exception use only when it is compatible with the surrounding areas • Be sensitive to aesthetics and the potential for light pollution, noise pollution, pedestrian safety, and vehicular safety 	<p>Accessory Permitted Uses</p> <ul style="list-style-type: none"> • small wind turbine system <p>Commercial Permitted Uses</p> <ul style="list-style-type: none"> • bank machine/atm • barber/beauty shop • club or lodge • coffee shop • day care • delicatessen • fitness center/health club • gas station • health spa/day spa • ice cream shop • office, general services • photography studio • recreation center/play center • retail (type 1), very low intensity • retail (type 2), low intensity • sexually oriented retail business • studio arts • tailor/pressing shop • tanning salon <p>Institutional Permitted Uses</p> <ul style="list-style-type: none"> • police, fire, or rescue station 	<p>Accessory Special Exception Uses</p> <ul style="list-style-type: none"> • large wind turbine system <p>Institutional Special Exception Uses</p> <ul style="list-style-type: none"> • recycling collection point <p>Residential Special Exception Uses</p> <ul style="list-style-type: none"> • dwelling unit (upper floors)

Limited Commercial (LC) District

2.28 LC District Development Standards



Minimum Lot Area

- 5,000 square feet

Minimum Lot Width

- 50 feet

Sewer and Water

- Sanitary sewer and water utility required

Minimum Front Yard Setback

- 10 feet for primary and accessory structures
- 5 feet for parking lots

Minimum Side Yard Setback

- 10 feet for primary and accessory structures

Minimum Rear Yard Setback

- 10 feet for primary and accessory structures

Maximum Lot Coverage

- 70% of lot area

Minimum Main Floor Area

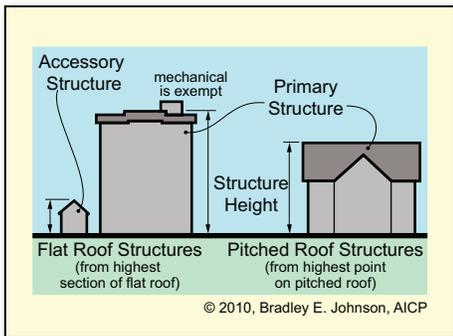
- 1,000 square feet

Minimum Dwelling Unit Size

- 700 square feet with an average of 900 square feet

Maximum Primary Structures

- 5 per lot



Maximum Structure Height

- 35 feet for primary structure
- 20 feet for accessory structure

Additional Development Standards that Apply

Accessory Structures	Landscaping	Sexually Oriented Businesses
• AS-01 5-6	• LA-01 5-45	• SX-01 5-74
• AS-10 5-13	• LA-02 5-46	Signs
Architecture	• LA-04 5-47	• SI-01 5-75
• AR-02 5-14	• LA-06 5-48	• SI-06 5-87
Density and Intensity	• LA-07 5-48	Special Exception
• DI-01 5-16	• LA-08 5-49	• SE-01 5-105
Driveway	Lighting	Storage
• DW-01 5-17	• LT-01 5-51	• SR-03 5-106
• DW-04 5-20	Loading	Structure
Environmental	• LD-01 5-52	• ST-01 5-107
• EN-01 5-21	Lot	Telecommunication
Fence and Wall	• LO-01 5-53	• TC-01 5-108
• FW-01 5-22	Outdoor Display	Temporary Use
• FW-07 5-24	• DA-01 5-57	• TU-01 5-110
Floodplain	Parking	• TU-04 5-111
• FP-01 5-26	• PK-01 5-60	• TU-05 5-111
Floor Area	• PK-07 5-62	Trash Receptacle
• FA-01 5-35	Performance	• TR-01 5-112
Height	• PF-01 5-68	Vision Clearance
• HT-01 5-36	Public Improvement	• VC-01 5-113
	• PI-01 5-69	Wind Turbine Systems
	Setback	• WT-01 5-114
	• SB-01 5-71	• WT-02 5-116
	Sewer and Water	
	• SW-01 5-73	