

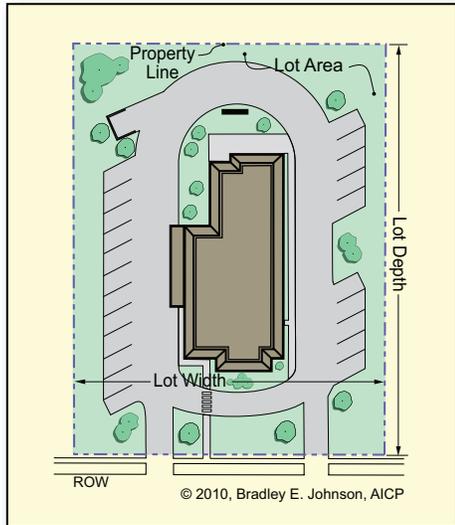
Highway Commercial (HC) District

2.35 HC District Intent, Permitted Uses, and Special Exception Uses

District Intent	Permitted Uses	Special Exception Uses
<p>The HC (Highway Commercial) District is intended to be used as follows:</p> <p>Use Type and Intensity</p> <ul style="list-style-type: none"> Moderate to high intensity commercial uses <p>Application of HC District</p> <ul style="list-style-type: none"> Existing and new development Small to medium area zoning <p>Development Standards</p> <ul style="list-style-type: none"> Require quality time, place, and manner development standards to minimize impacts on adjacent properties while encouraging economic vitality Minimize light, noise, water, and air pollution <p>Appropriate Adjacent Zoning Districts</p> <ul style="list-style-type: none"> PR, AG, M2, IS, NC, LC, GC, OC, HC, EP, IC, and I1 <p>Plan Commission</p> <ul style="list-style-type: none"> Use the HC District for existing developments and carefully for new commercial development <p>Board of Zoning Appeals</p> <ul style="list-style-type: none"> Allow a special exception use only when it is compatible with the surrounding areas Be sensitive to aesthetics and the potential for light pollution, noise pollution, pedestrian safety, and vehicular safety 	<p>Accessory Permitted Uses</p> <ul style="list-style-type: none"> small wind turbine system <p>Commercial Permitted Uses</p> <ul style="list-style-type: none"> automobile oriented business bank machine/atm bar/tavern gas station hotel/motel miniature golf office, medical services restaurant restaurant with drive-up window retail (type 3), medium intensity retail (type 4), high intensity retail (type 5), very high intensity <p>Institutional Permitted Uses</p> <ul style="list-style-type: none"> police, fire, or rescue station 	<p>Accessory Special Exception Uses</p> <ul style="list-style-type: none"> large wind turbine system <p>Industrial Special Exception Uses</p> <ul style="list-style-type: none"> telecommunication facility

Highway Commercial (HC) District

2.36 HC District Development Standards



Minimum Lot Area

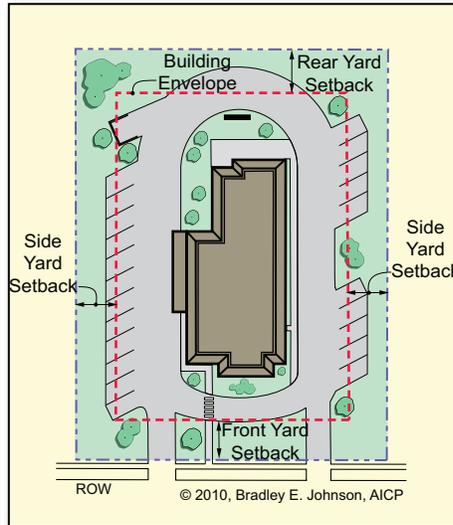
- 20,000 square feet

Minimum Lot Width

- 100 feet

Sewer and Water

- Sanitary sewer and water utility required



Minimum Front Yard Setback

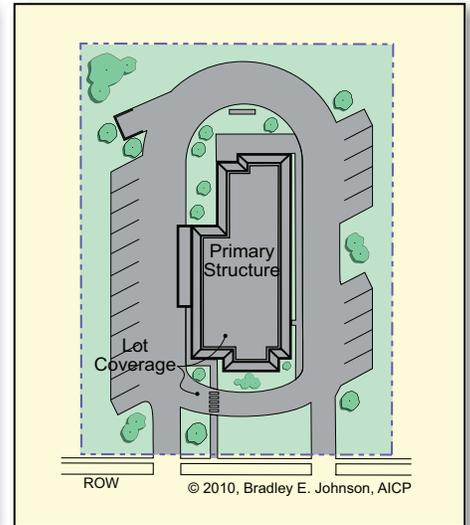
- 20 feet for primary or accessory structures
- 10 feet for parking lots

Minimum Side Yard Setback

- 25 feet for primary and accessory structures

Minimum Rear Yard Setback

- 25 feet for primary and accessory structures



Maximum Lot Coverage

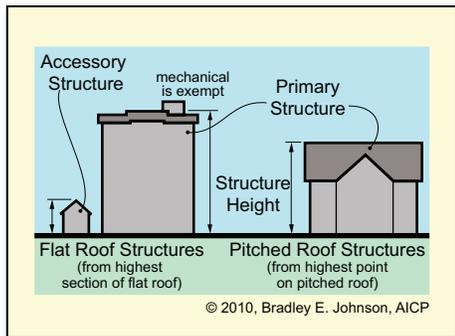
- 75% of lot area

Minimum Main Floor Area

- 1,000 square feet

Maximum Primary Structures

- 5 per lot



Maximum Structure Height

- 40 feet for primary structure
- 20 feet for accessory structure

Additional Development Standards that Apply

Accessory Structures	Landscaping	Signs
• AS-01 5-6	• LA-01 5-45	• SI-01 5-75
• AS-10 5-13	• LA-02 5-46	• SI-08 5-96
Architecture	• LA-04 5-47	Special Exception
• AR-02 5-14	• LA-06 5-48	• SE-01 5-105
Density and Intensity	• LA-07 5-48	Storage
• DI-01 5-16	• LA-08 5-49	• SR-03 5-106
Driveway	Lighting	Structure
• DW-01 5-17	• LT-01 5-51	• ST-01 5-107
• DW-04 5-20	Loading	Telecommunication
Environmental	• LD-01 5-52	• TC-01 5-108
• EN-01 5-21	Lot	Temporary Use
Fence and Wall	• LO-01 5-53	• TU-01 5-110
• FW-01 5-22	Outdoor Display	• TU-05 5-111
• FW-07 5-24	• DA-01 5-57	Trash Receptacle
Fireworks	Parking	• TR-01 5-112
• FR-01 5-25	• PK-01 5-60	Vision Clearance
Floodplain	• PK-07 5-62	• VC-01 5-113
• FP-01 5-26	Performance	Wind Turbine Systems
Floor Area	• PF-01 5-68	• WT-01 5-114
• FA-01 5-35	Public Improvement	• WT-02 5-116
Height	• PI-01 5-69	
• HT-01 5-36	Setback	
	• SB-01 5-71	
	Sewer and Water	
	• SW-01 5-73	