

Standard Subdivision (ST)

6.01 Standard Subdivision Intent and Prerequisites

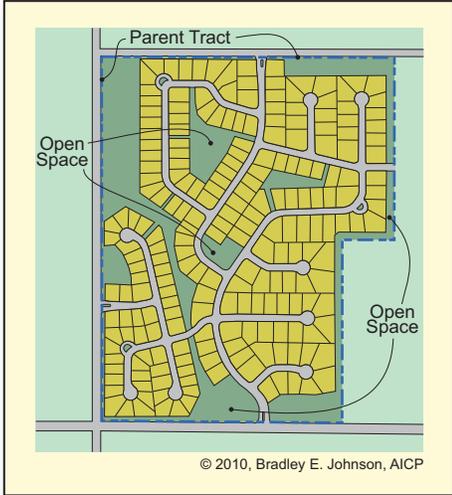
Intent
<p>The Standard Subdivision type is intended to provide a development option with the following features:</p> <p>Land Use</p> <ul style="list-style-type: none"> • 100% residential <p>Applicability</p> <ul style="list-style-type: none"> • Residential subdivisions of all sizes that require new streets <p>Pedestrian Network</p> <ul style="list-style-type: none"> • Safe and efficient pedestrian circulation within the subdivision • Safe and efficient pedestrian accessibility to perimeter streets <p>Vehicular Network</p> <ul style="list-style-type: none"> • Connectivity to adjacent development, adjacent undeveloped parcels, and the existing street network • Large radius corners and curves <p>Site Feature Preservation</p> <ul style="list-style-type: none"> • Strive to save existing quality tree stands <p>Incentives</p> <ul style="list-style-type: none"> • Limited intensity and density bonus for anti-monotony compliance

Prerequisites
<p>Base Zoning</p> <ul style="list-style-type: none"> • AG, R1, R2, R3, UR, M1, or MH <p>Minimum Parent Tract</p> <ul style="list-style-type: none"> • No minimum <p>Maximum Parent Tract</p> <ul style="list-style-type: none"> • No maximum

Standard Subdivision Intensity and Density Bonus for Anti-monotony Compliance (7.10 Residential Incentive Standards)								
		Zoning District						
		AG	R1	R2	R3	UR	M1	MH
Lot Standards	Min. Lot Area	no change	18,000 sq ft	10,000 sq ft	4,800 sq ft	no change	5,600 sq ft	no change
	Min. Average Lot Area	no change	20,000 sq ft	11,000 sq ft	5,000 sq ft	no change	6,000 sq ft	no change
	Min. Lot Width	no change	90 ft	75 ft	46 ft	no change	46 ft	no change
Setback Standards	Min. Front Setback	no change	30 ft	30 ft	20 ft	no change	25 ft	no change
	Min. Side Setback	no change	9 ft	8 ft	5 ft	no change	10 ft	no change
	Min. Rear Setback	no change	28 ft	25 ft	25 ft	no change	26 ft	no change
Other Standards	Max. Lot Coverage	no change	38%	42%	65%	no change	55%	no change
	Min. Dwelling Unit Size	no change	1,200 sq ft	1,000 sq ft	1,000 sq ft	no change	1,000 sq ft	no change
	Maximum Density	no change	1.7 du/acre	3.5 du/acre	6 du/acre	no change	6 du/acre	no change

Standard Subdivision (ST)

6.02 Standard Subdivision Standards

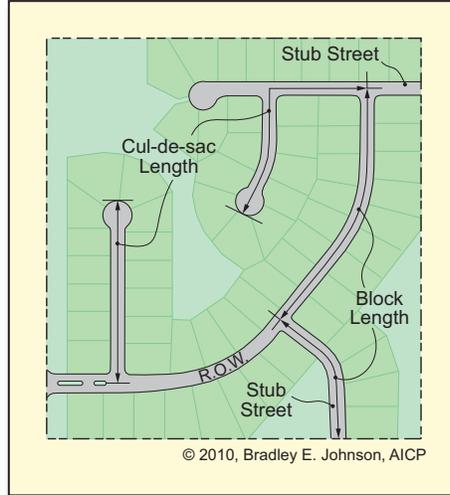


Minimum Required Open Space

- 15%

Minimum Perimeter Landscaping

- 25 feet along perimeter streets that shall be common area
- 10 feet along all other perimeters
- 0 feet if abutting another ST, CS, or ZL subdivision



Minimum Block Length

- 140 feet

Maximum Block Length

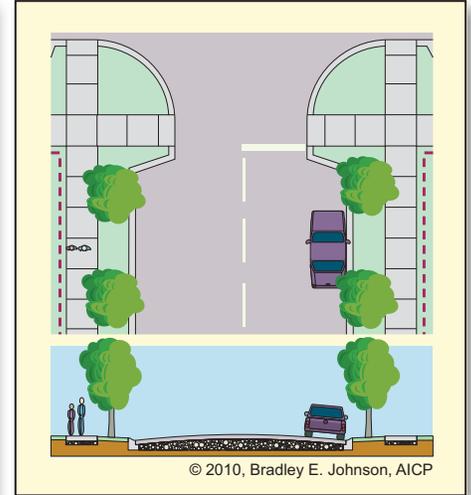
- 1,000 feet

Minimum Cul-de-sac Length

- 140 feet

Maximum Cul-de-sac Length

- 600 feet



Minimum ROW on Local Streets

- 50 feet

Minimum Street Width

- 30 feet

Curb

- Rolled or vertical curb required

On-street Parking

- Required on at least one side

Minimum Tree Plot Width

- 5 feet

Minimum Sidewalk/Sidepath Width

- 5 feet sidewalks along both sides of internal collector streets and internal local streets
- 6 feet sidepaths or sidewalks along both sides of internal arterial streets
- 6 feet sidepaths or sidewalks along perimeter streets

Additional Design Standards that Apply	
Dedication of Public Improvement	Prerequisites
• DD-01..... 7-4	• PQ-01..... 7-21
Development Name	Storm Water
• DN-01..... 7-5	• SM-01..... 7-22
Easement	Streets and Access
• EA-01..... 7-6	• SA-01..... 7-24
Entryway Feature	• SA-02..... 7-30
• EF-01..... 7-8	• SA-04..... 7-32
Erosion Control	• SA-05..... 7-32
• EC-01..... 7-9	• SA-07..... 7-34
Flood Hazard	Street Lighting
• FH-01..... 7-10	• SL-01..... 7-35
Incentive	• SL-04..... 7-36
• IC-01..... 7-11	Surety
Lot Establishment	• SY-01..... 7-37
• LE-01..... 7-12	Utility
Monuments and Markers	• UT-01..... 7-39
• MM-01..... 7-15	
Open Space	
• OP-01..... 7-16	
Owners' Association	
• OA-01..... 7-17	
Pedestrian Network	
• PN-01..... 7-19	
Perimeter Landscaping	
• PL-01..... 7-20	